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CALL BLUESPRINTS
@ 511 AT LEAST 4 HOURS
BEFORE TO THE
COMMENCEMENT OF ANY
CONSTRUCTION
CALL NUMBER: 801-225-0329

BENCHMARK
NORTHWEST CORNER OF SECTION 6
TOWNSHIP 5 SOUTH, RANGE 2 EAST
SOUTH LANE BASE & MERIDIAN
ELEVATION: + 400.37

SURVEYORS NARRATIVE

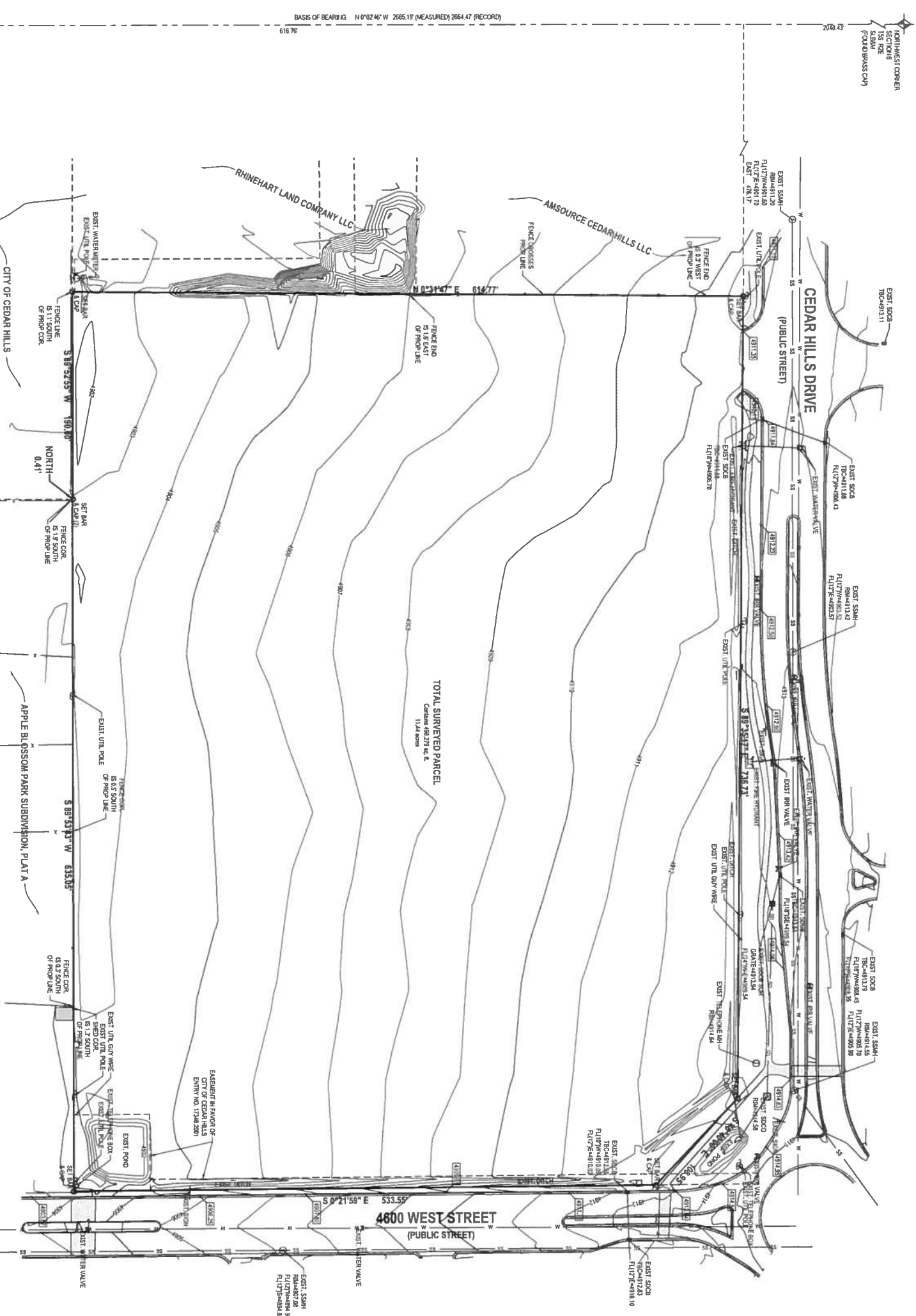
1. Parcel 14.1 Item: 10. Inventory table that Item is Registered Professional Land Surveyor and said field contains no 202002 as provided by the State of Utah and respondents that there exists a wrong of the following recorded plat. The purpose of the survey is to correct the error in the following recorded plat. The project is to correct the error in the following recorded plat as follows:
Township 5 South, Range 2 East, Salt Lake Base and Meridian and survey base 07°22'42" West 1966.51' North.

PROPERTY DESCRIPTION

Beginning at a point on the south line of Cedar Hills Drive and going North 07°22'42" West 515.78' feet along the second line and East 476.17' feet from the West Corner Corner of Section 5, Township 5 South, Range 2 East, Salt Lake Base and Meridian and survey base 07°22'42" West 1966.51' North to the East Corner of the site.

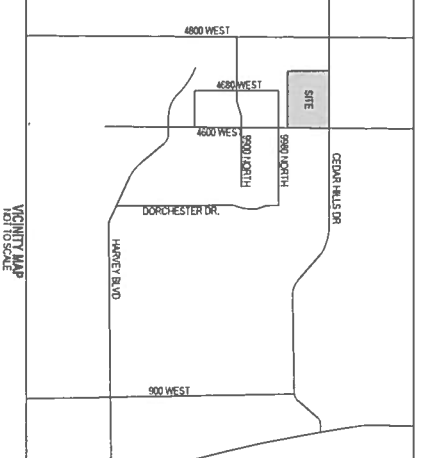
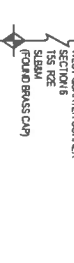
Thence South 67°32'17" East 726.73' feet along said south line of Cedar Hills Drive,
thence South 67°32'17" East 108.55' feet to a point on the west line of 4600 West Street,
thence South 67°32'17" East 533.55' feet along said west line of 4600 West Street to the benchmark corner of Apple Blossom Park, Parcel A Subdivision
thence South 67°32'17" West 635.05' feet along the north line to the benchmark corner of said Apple Blossom Park, Parcel A Subdivision
thence South 67°32'17" West 102.00' feet,
thence North 67°32'17" East 114.40' feet to the point of beginning.
Contains 687.279 square feet or 11.44 acres.

Date: _____
Parole M. Harris
License No. 268923



LEGEND

- SECTION CORNER
- MONUMENT
- EXIST BENCHMARK CAP
- SET BENCHMARK AND CAP
- SET FINISH
- WATER METER
- WATER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- ELECTRIC METER
- STORM DRAIN COVER
- STORM DRAIN CATCH BOX
- STORM DRAIN VALVE
- SOIL
- UTILITY MANHOLE
- UTILITY POLE
- OVERHEAD POWER LINE
- MAJOR CORNER EMBLEMMENT
- MAJOR CORNER'S EMBLEMMENT
- CONCRETE
- BUILDING PRIMARY
- BUILDING SECONDARY
- PUBLIC DRIVEWAY EMBLEMMENT
- ADJACENT RIGHT OF WAY
- DEED LINE
- TARGET LINE
- EAST/DOOR/ROW LINE
- FENCE
- EDGE OF ASPHALT
- SMOOTH/SEWER
- STORM DRAINAGE LINE
- GAS LINE
- WATER LINE
- SW SECONDARY WATER LINE
- RR PROXIMITY LINE
- CENTERLINE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- ELECTRIC POWER LINE
- TELEPHONE LINE
- PRIGHTLINE
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE



ROSEGATE AT CEDAR HILLS SENIOR LIVING FACILITY
4600 WEST CEDAR HILLS DRIVE
CEDAR HILLS, UTAH

EN
THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S. Suite 500
Salt Lake, UT 84120
Phone: 801-250-0329

LATTON
Phone: 801-547-1100

TOOLE
Phone: 435-843-3950

CEDAR CITY
Phone: 435-965-1453

RICHFIELD
Phone: 435-650-2993

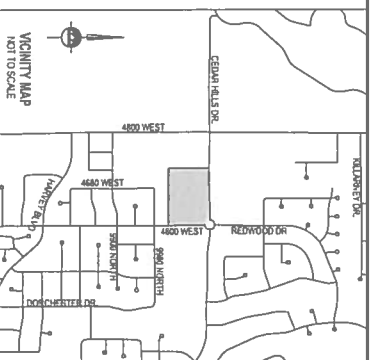
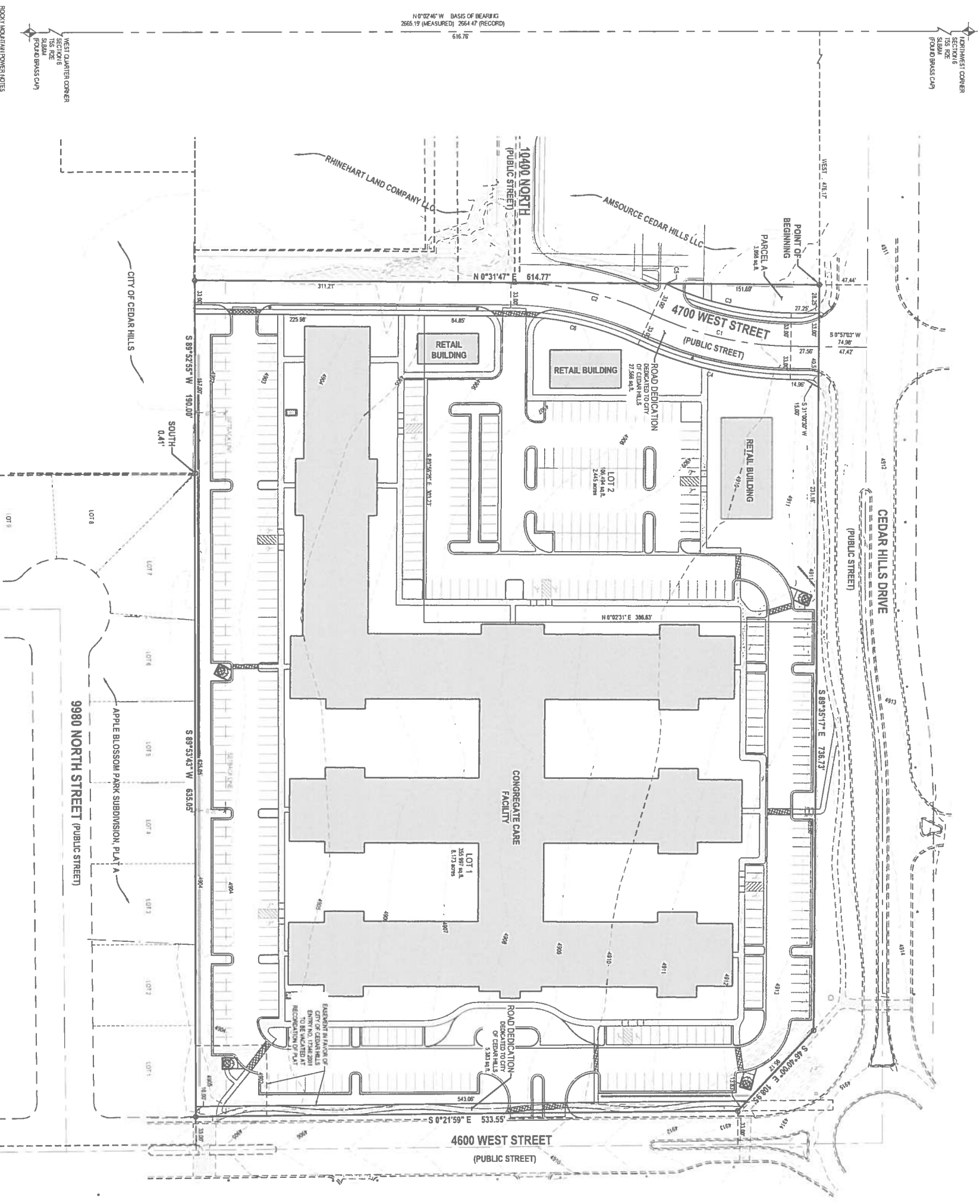
WWW.ENGINEENG.COM

BOUNDARY & TOPOGRAPHIC SURVEY

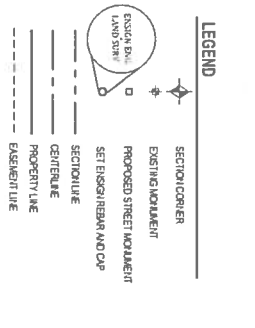
1 OF 1

ROSEGATE AT CEDAR HILLS

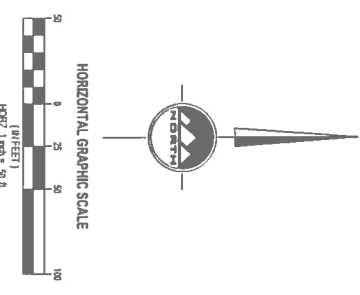
PRELIMINARY PLAT
LOCATED IN THE NORTHWEST QUARTER OF SECTION 6,
TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN
CEDAR HILLS, UTAH COUNTY, UTAH



| CURVE TABLE |
|-------------|
| CHORD |
| BEARING |
| DELTA |
| LENGTH |
| RADIUS |
| CHORD |
| BEARING |
| DELTA |
| LENGTH |
| RADIUS |



- NOTES
- 1. LOT 1 IS LOCATED WITHIN THE SUBDIVISION...
- 2. THE SUBDIVISION PROPERTY IS LOCATED WITHIN ZONE X...



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OWNER: CEDAR HILLS FARM LAND, LLC
6150 S. REDWOOD ROAD SUITE 150
TAYLORVILLE, UTAH 84123
801.205.5500

OWNER: CEDAR HILLS FARM LAND, LLC
6150 S. REDWOOD ROAD SUITE 150
TAYLORVILLE, UTAH 84123
801.205.5500

ENSGN
SALT LAKE CITY
15 W. 1000 S. SUITE 500
TAYLORVILLE, UTAH 84123
801.205.5500

SHEET 1 OF 1
PROJECT NUMBER: 601
DRAWN BY: R/W
CHECKED BY: R/W
DATE: 5/11/2022

CEGAR HILLS ENGINEER APPROVAL
DATE: 5/11/2022

PLANNING COMMISSION APPROVAL
DATE: 5/11/2022

SURVEYOR'S CERTIFICATE
I, KAREN M. WHITE, do hereby certify that I am a Licensed Land Surveyor and that I have prepared this preliminary plat in accordance with the provisions of the Utah Surveying Act, Title 20, Chapter 2, Utah Code, and the rules and regulations of the Utah Board of Surveying and Mapping.

BOUNDARY DESCRIPTION
Beginning at a point on the south line of Cedar Hills Drive and proceeding East 07°22'42" West 151.75 feet along the section line and West 47°17'17" East 17 feet from the West Quarter Corner of Section 6, Township 5 South, Range 2 East, Salt Lake Base and Meridian and running

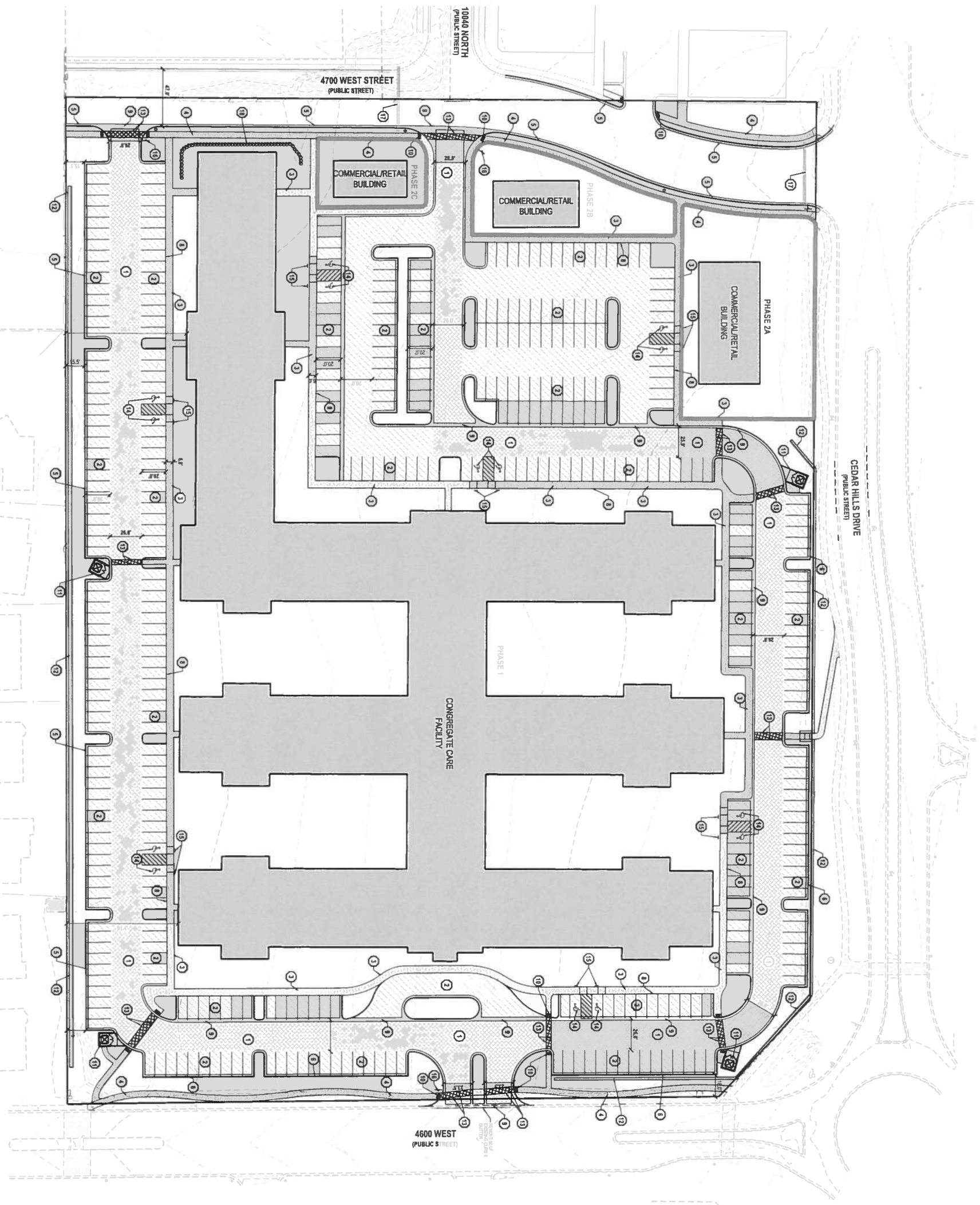
OWNERS DEDICATION
Know all men by these presents that I, the undersigned owner(s) of the above described tract of land, being situated in the Salt Lake County, Utah, do hereby dedicate the right, easement and other public uses as indicated herein to the proposed use of the public.

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT
STATE OF UTAH
COUNTY OF _____

CORPORATE ACKNOWLEDGMENT
STATE OF UTAH
COUNTY OF _____

ACCEPTANCE BY LEGISLATIVE BODY
THE CITY COUNCIL OF SALT LAKE COUNTY, UTAH, HEREBY ACCEPTS THE SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS HEREON AND HEREBY ACCEPTS THE EXPANSION OF ALL STREETS, EASEMENTS AND OTHER INTERESTS OF LAND WITHIN THE PLAT HEREON FOR THE BENEFIT OF THE PUBLIC.

ROSEGATE AT CEDAR HILLS
LOCATED IN THE NORTHWEST QUARTER OF SECTION 6,
TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN
CEDAR HILLS, UTAH COUNTY, UTAH



- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE EXISTING AGENCIES STANDARDS AND SPECIFICATIONS.
 2. ALL WORK SHALL COMPLY WITH ALL STANDARDS AND RECOMMENDATIONS.
 3. SEE LANDSCAPE ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCENE FINISHING PROVISIONS.
 4. ALL PAVEMENT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD MANUAL ON TRAFFIC CONTROL DEVICES.
 5. ALL SURFACE IMPROVEMENTS OBTAINED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED TO EXISTING CONDITIONS. 5000 REVISED WALLS AND STRUCTURES WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 6. IDENTIFY EXISTING OF ANY OBSTRUCTIONS (UNDERGROUND UTILITIES, ETC.) PRIOR TO CONSTRUCTION OR AS SHOWN.
 7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND STRUCTURES. SEE UTILITIES OTHERS LOCATED ON THESE PLANS.

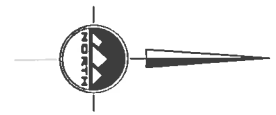
- SCOPE OF WORK:**
1. REMOVE EXISTING AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE REMOVAL SHALL BE AS SHOWN ON THE CONSTRUCTION DRAWINGS.
 2. ASPHALT PAVEMENT: 1.5" THICK ASPHALTIC CONCRETE WITH FURNISHED BASE COURSE PER GEOTECHNICAL REPORT PER DETAIL AC-208.
 3. UNPAVED DRIVEWAYS: 7" THICK ASPHALTIC CONCRETE WITH FURNISHED BASE COURSE PER GEOTECHNICAL REPORT PER DETAIL AC-208.
 4. RECONSTRUCT CONCRETE SIDEWALK PER DETAIL SP-300-801.
 5. FRESH CONCRETE SIDEWALK PER DETAIL SP-300-801.
 6. 24" COLLECTION CURBS AND GUTTERS PER DETAIL AC-208.
 7. 24" REVERSE PAVEMENT AND GUTTERS PER DETAIL AC-208.
 8. TRANSITION BETWEEN COLLECTION CURBS AND GUTTERS AND REVERSE PAVEMENT AND GUTTERS PER DETAIL AC-208.
 9. 24" TYPE "C" CURB AND GUTTERS WITH FURNISHED BASE COURSE TO ASPHALT STANDARD PLAN NO. 208 AND SPECIFICATIONS.
 10. STAIRWAYS PER ASPHALT STANDARD PLAN NO. 211 AND SPECIFICATIONS DETAIL AC-208.
 11. WALKWAY ACCESS SWAP PER ASPHALT STANDARD PLAN NO. 208 WITH DETAIL WALKWAY SURFACE PER ASPHALT STANDARD PLAN NO. 208 AND SPECIFICATIONS SEE DETAIL AC-208.
 12. THIN SLAB EXHAUST PER ARCHITECTURAL PLANS WITH FRESH CONCRETE ASPHEN WITH A MINIMUM 3" O.C. E.W. OR F. GRAVEL BASE.
 13. RETAINING WALL: SEE EXISTING PLAN FOR ELEVATION INFORMATION.
 14. WHITE CROSSGRAIN PAINTING PER MUTCD STANDARD PLAN.
 15. PAINTED ADA SYMBOLS, AND ASSOCIATED SIGNING PER MUTCD STANDARD PLAN.
 16. "TYPED" PAVEMENT PER MUTCD STANDARD PLAN SEE DETAIL AC-208.
 17. RETAIL CONCRETE PER DETAIL AC-208.
 18. STAIRS PER MUTCD STANDARD PLAN.
 19. STAGGED ROCK WALL.

SITE SUMMARY TABLE

| AREA | PAVEMENT | ROOF | LANDSCAPING | TOTAL |
|-----------------|------------|------------|-------------|------------|
| RETAIL | 73,532 SF | 9,480 SF | 46,881 SF | 129,893 SF |
| CONGREGATE CARE | 112,909 SF | 120,023 SF | 13,794 SF | 346,726 SF |
| TOTAL SITE | 186,441 SF | 129,497 SF | 162,455 SF | 478,393 SF |
| PERCENTAGE | 37% | 26% | 37% | 100% |

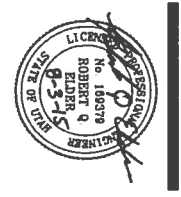
PARKING SUMMARY TABLE

| AREA | REGULAR STALLS | HANDICAP STALLS | TOTAL STALLS |
|-----------------|----------------|-----------------|--------------|
| RETAIL | 131 | 4 | 135 |
| CONGREGATE CARE | 294 | 10 | 304 |
| TOTAL SITE | 415 | 14 | 429 |



HORIZONTAL GRAPHIC SCALE
 0 10 20 30
 FEET
 1" = 10'

**ROSEGATE AT CEDAR HILLS
 SENIOR LIVING FACILITY**
 4600 WEST CEDAR HILLS DRIVE
 CEDAR HILLS, UTAH



SITE PLAN

DATE: 08/20/2024
 PROJECT: SENIOR LIVING FACILITY
 DRAWN BY: J. LAMSON
 CHECKED BY: J. WINE
 SCALE: AS SHOWN

EN SIGN
 THE STANDARD IN ENGINEERING

SALT LAKE CITY
 45 W. 1100 S. SUITE 300
 SALT LAKE CITY, UT 84119
 PH: 801.253.0229

LAYTON
 1000 W. 1000 S. SUITE 100
 LAYTON, UT 84040
 PH: 801.541.1100

TOOELE
 1000 W. 1000 S. SUITE 100
 TOOELE, UT 84074
 PH: 801.253.0229

CEDAR CITY
 1000 W. 1000 S. SUITE 100
 CEDAR CITY, UT 84203
 PH: 801.253.0229

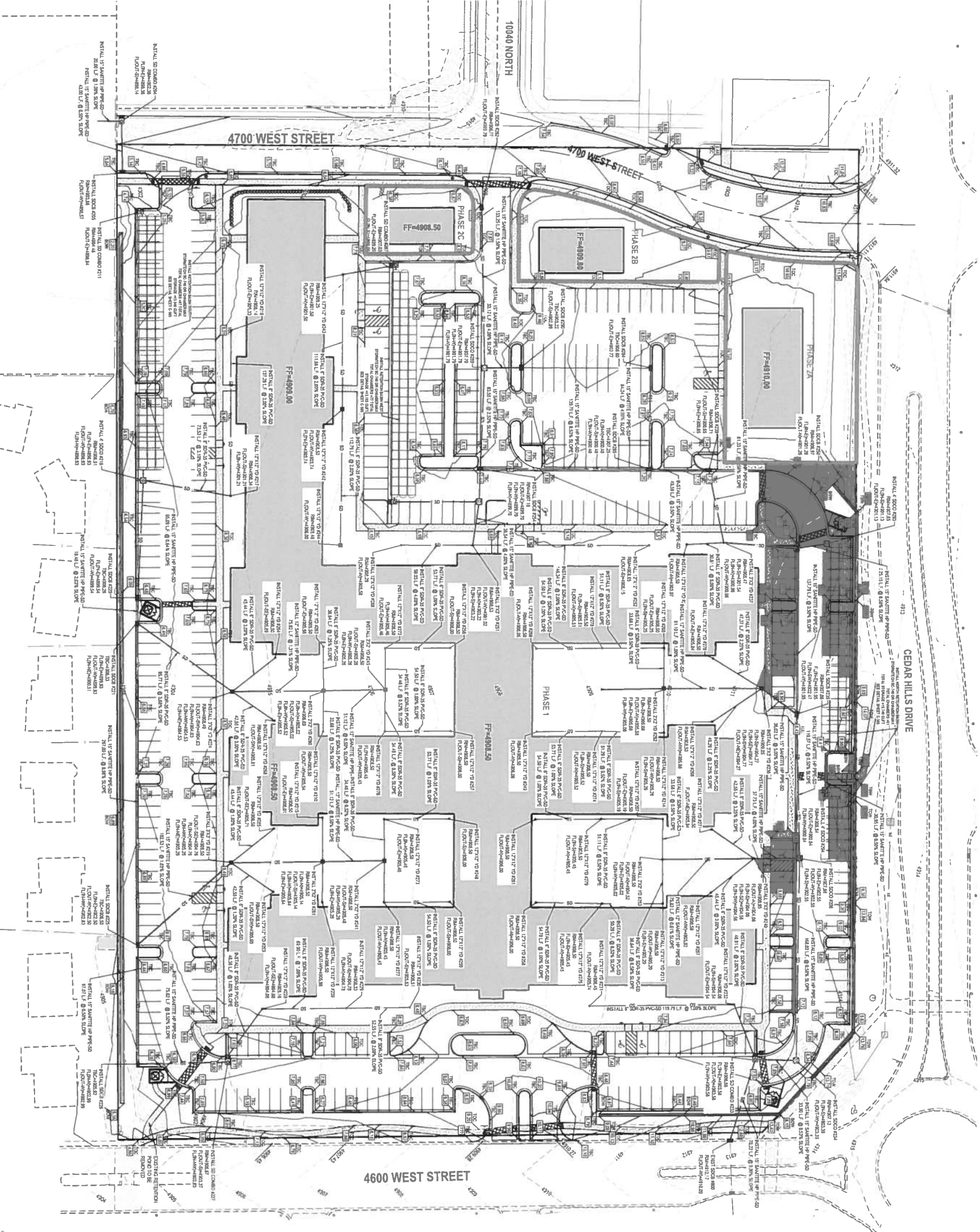
RICHFIELD
 1000 W. 1000 S. SUITE 100
 RICHFIELD, UT 84701
 PH: 801.253.0229

WWW.ENSIGNENG.COM

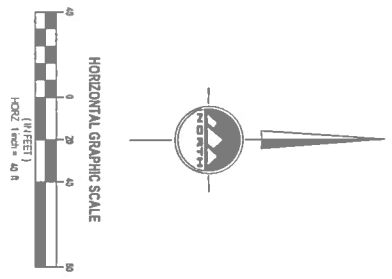
ENGINER: ROBERT Q. ROBERTS
 LICENSE NO. 8-5-15
 STATE OF UTAH

DATE: 08/20/2024
 PROJECT: SENIOR LIVING FACILITY
 DRAWN BY: J. LAMSON
 CHECKED BY: J. WINE
 SCALE: AS SHOWN

C-100



- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND REQUIREMENTS.
 3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF THE REGISTERED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, AND/OR OTHER PROFESSIONALS AS SHOWN ON THESE PLANS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
 5. ELEVATIONS HAVE BEEN INDICATED FOR CLARITY. XX.XX REPRESENTS AN ELEVATION OF 400.XX ON THESE PLANS.
 6. UNDISCOVERED REBAR OR OTHER STRUCTURAL ELEMENTS SHALL BE RECORDED AND NOTED ON THE CONSTRUCTION LOG.
 7. SLOPE ALL UNDISCOVERED REBAR FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAINAGE.
 8. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION. ANY ADDITIONAL UTILITIES OR IMPROVEMENTS DISCOVERED IN THE FIELD SHALL BE RECORDED AND NOTED ON THE CONSTRUCTION LOG.
 9. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION. ANY ADDITIONAL UTILITIES OR IMPROVEMENTS DISCOVERED IN THE FIELD SHALL BE RECORDED AND NOTED ON THE CONSTRUCTION LOG.
 10. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION. ANY ADDITIONAL UTILITIES OR IMPROVEMENTS DISCOVERED IN THE FIELD SHALL BE RECORDED AND NOTED ON THE CONSTRUCTION LOG.
 11. NOTIFY AGENCIES OF ANY DISCREPANCIES IN RECORD DRAWINGS OR FIELD SURVEY PRIOR TO CONSTRUCTION.
 12. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE AGENCY'S STANDARDS AND SPECIFICATIONS.
 14. THE CONTRACTOR SHALL PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND STRUCTURES TO REMAIN UNLESS OTHERWISE NOTED ON THESE PLANS.



**ROSEGATE AT CEDAR HILLS
 SENIOR LIVING FACILITY**
 4600 WEST CEDAR HILLS DRIVE
 CEDAR HILLS, UTAH

ENSIGN
 THE STANDARD IN ENGINEERING

SALT LAKE CITY
 45 W. 10000 S., Suite 500
 Sandy, UT 84070
 Phone: 801.255.0529

LAYTON
 Phone: 801.547.1100

TOOELE
 Phone: 435.843.3990

CEDAR CITY
 Phone: 435.966.1453

RICHFIELD
 Phone: 435.989.2983

WWW.ENSIGNENG.COM

404
 CEDAR HILLS SENIOR LIVING FACILITY
 4600 WEST CEDAR HILLS DRIVE
 CEDAR HILLS, UTAH 84203
 PHONE: 801.255.5500

PROFESSIONAL SEAL
 No. 186378
 ROBERT Q. JOHNSON
 STATE OF UTAH

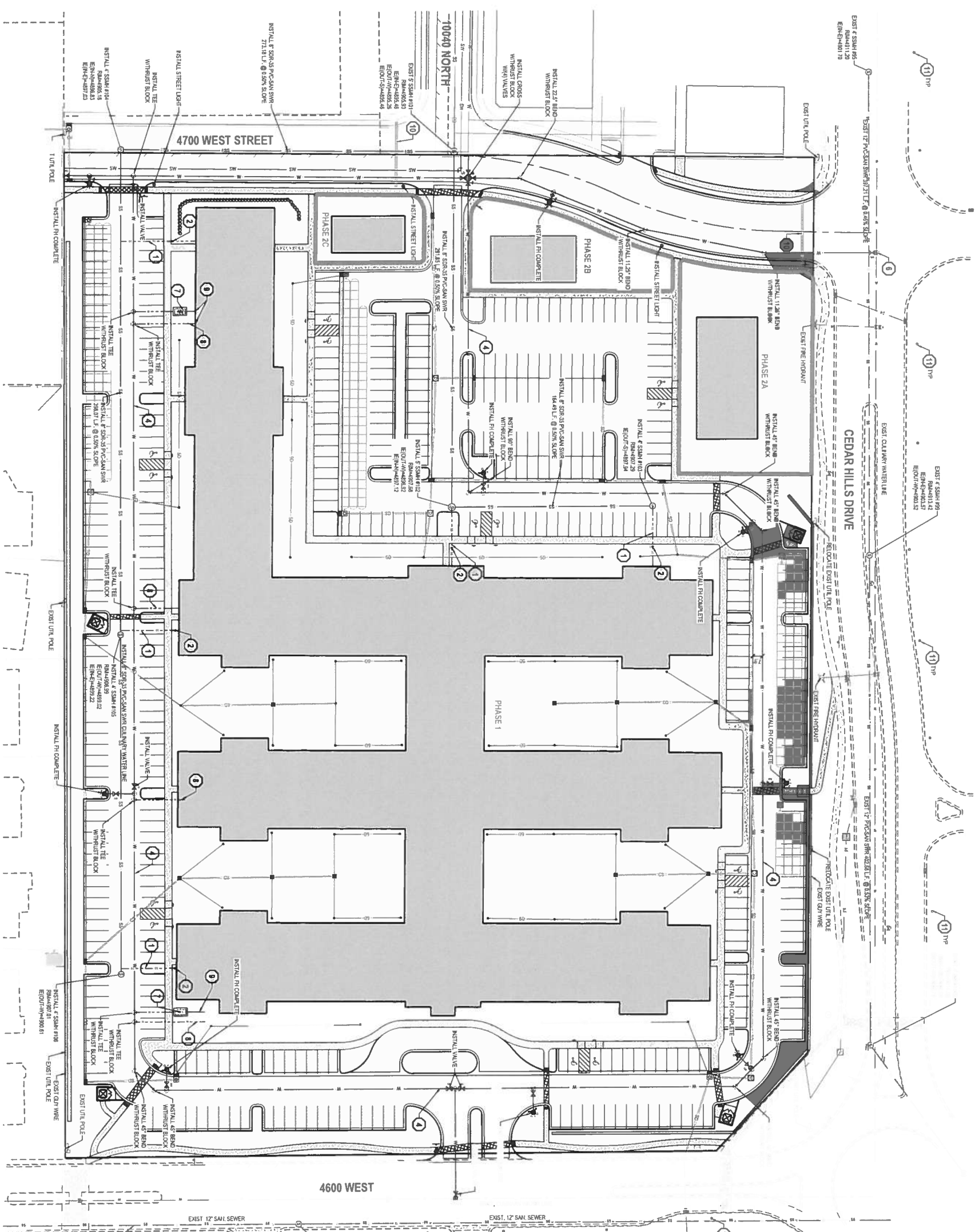
PROJECT MANAGER: Robert Q. Johnson
 DESIGNER: Robert Q. Johnson
 CHECKED BY: Robert Q. Johnson

GRAVING AND DRAINAGE PLAN

C-200

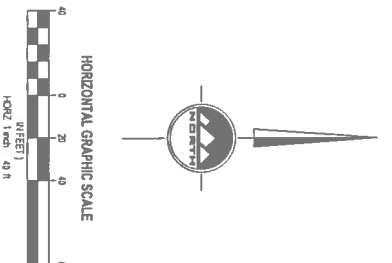
BENCHMARK
 NORTHWEST CORNER OF SECTION 4
 TOWNSHIP 3 SOUTH RANGE 2 EAST
 SALT LAKE BASIN & BENDON
 ELEVATION = 4871.32

CALL BEFORE YOU DIG
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 AT LEAST 48 HOURS
 PRIOR TO THE
 COMMENCEMENT OF ANY
 CONSTRUCTION
 Call before you dig.
 Elevation per 811

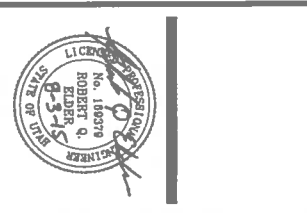


- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS
 2. EXISTING DEGROUND UTILITIES AND APPROXIMATE LOCATIONS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS. LOCATIONS MAY NOT HAVE BEEN REVEALED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE FIELD BY LOCAL SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND PARTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED BY EXISTING UTILITIES OCCURRING. THE CONTRACTOR SHALL NOTIFY THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS PRIOR TO ANY FIELD REVISIONS THAT SHOULD BE MADE.
 3. ALL SURFACE SEWER AND STRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARDS AND SPECIFICATIONS
 4. ALL WELLS AND STRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR AWA STANDARD PLANS AND SPECIFICATIONS
 5. IDENTIFY EXISTING OR ANY DISCREPANCIES IN DESIGN OR SINKING BEFORE PLACING UTILITY STRUCTURES OR PIPES
 6. VERIFY OR LOCATE ALL UTILITIES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS
 7. PROJECT SHALL COMPLY WITH ALL UTILITY AND DEGROUND OR DEGROUND UTILITIES RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO THOSE REMAINING TO BE DETERMINED BY PROTECTION AND CROSS CONNECTION PREVENTION
 8. THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS
 9. THE CONTRACTOR SHALL NOTIFY TO GIVE ALL EXISTING UTILITIES AS REFERRED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS
 10. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING APPROXIMATE UTILITIES AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS

- SCOPE OF WORK:**
- REMOVE EXISTING AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED THE DETAILS NOTED AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS
1. 8\"/>
 2. SURFACE SEWER DEMONSTRATION PER CEDAR HILLS STANDARD DRAWING NO. 301. SEE SHEET C-302
 3. CONNECT TO EXISTING SEWER MAIN PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS
 4. 8\"/>
 5. PRE-HOBOT/ASSEMBLY COMPLETE PER CEDAR HILLS STANDARD DRAWING NO. 411.402. SEE SHEET C-302
 6. NOT TO EXISTING WATER LINE PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS
 7. 3\"/>
 8. 8\"/>
 9. SEE MECHANICAL PLANS FOR CONTINUATION
 10. UTILITY CONDUIT
 11. EXISTING STREET LIGHT



**ROSEGATE AT CEDAR HILLS
 SENIOR LIVING FACILITY**
 4600 WEST CEDAR HILLS DRIVE
 CEDAR HILLS, UTAH



UTILITY PLAN

PROJECT NUMBER: 8815
 DRAWN BY: L. JOHNSON
 CHECKED BY: L. JOHNSON
 DATE: 8/15/2017

C-300

EN SIGN
 THE STANDARD IN ENGINEERING

SALT LAKE CITY
 43 W. 1000 S., SUITE 500
 SANDY, UT 84070
 PHONE: 801.255.0529

LAYTON
 PHONE: 801.547.1100

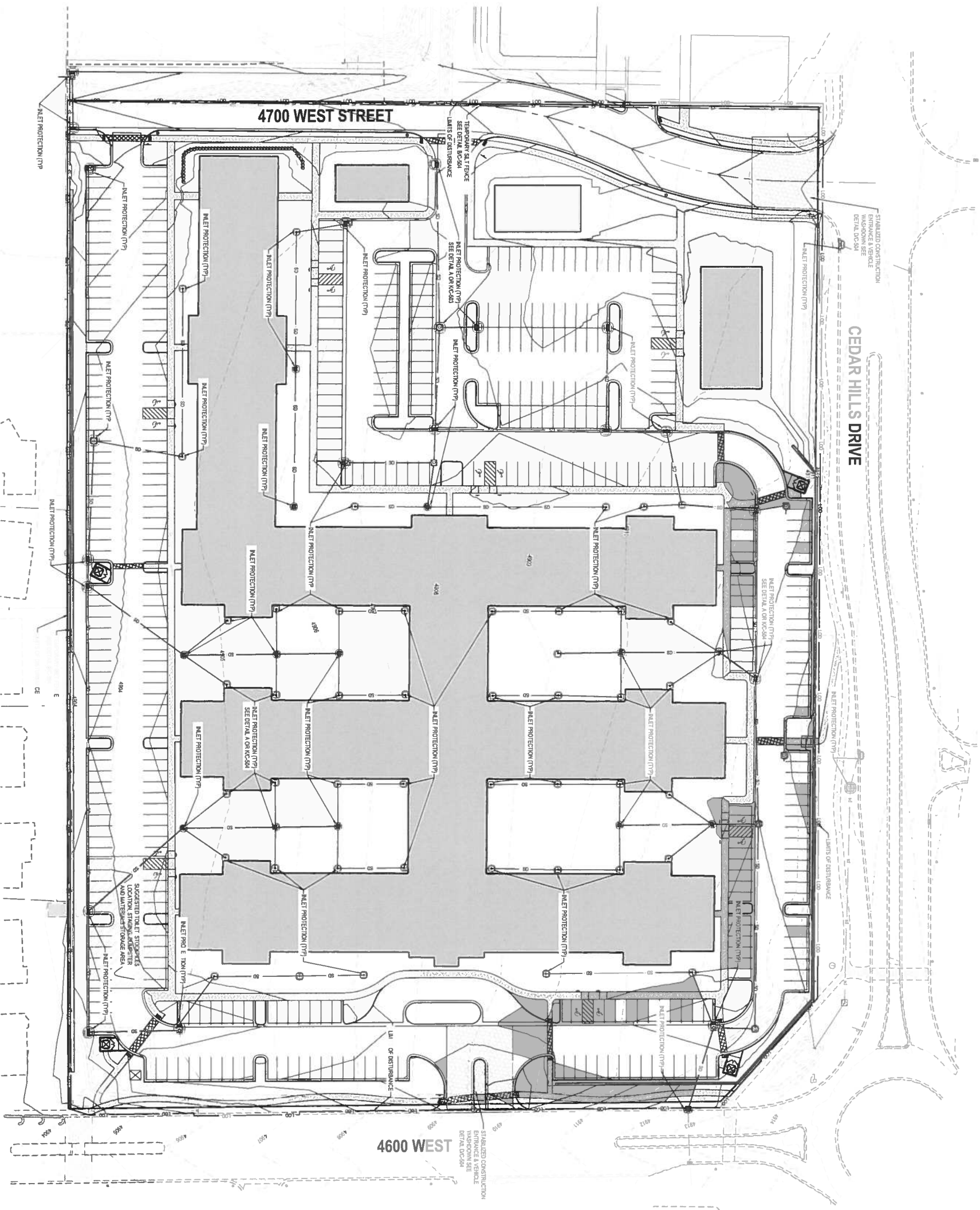
TOOELE
 PHONE: 435.943.3590

CEDAR CITY
 PHONE: 435.965.1453

RICHFIELD
 PHONE: 435.989.2983

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404
 CEDAR HILLS FARM LANE, LLC
 838 SOUTH REDWOOD ROAD, STE. 109
 CEDAR HILLS, UTAH 84202
 CONTACT: T. HALL (PH) 410
 PHONE: 801.256.6500

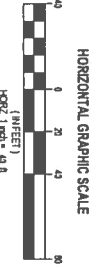


GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
2. DISTURBED LAND SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
3. REEDED/OUTGRADED LAND WITH NATIVE GRASS VEGETATION SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
4. DETAILS SHOWN ARE TO BE EXCEPTED TO PROTECT RANGE AS APPROPRIATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
5. VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONSTRUCT THESE BARS TO OTHER LOCATIONS IF NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
6. NOT ALL POSSIBLE BARS HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER FROM PROJECT SWAMP PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWAMP FOR BAP PRACTICES AND SCHEDULE.
7. A LARGE DRAINAGE UTILITY REPAIRS EXHIBIT (NOT SHOWN) IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES LOCATED ON HERE.

REVISION SCHEDULE

| NUMBER | DATE | AUTHOR | COMPANY REPRESENTATIVE |
|--------|------|--------|------------------------|
| 1 | | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |
| 7 | | | |
| 8 | | | |
| 9 | | | |
| 10 | | | |
| 11 | | | |
| 12 | | | |



**ROSEGATE AT CEDAR HILLS
 SENIOR LIVING FACILITY**
 4600 WEST CEDAR HILLS DRIVE
 CEDAR HILLS, UTAH



ENSIGN
 THE STANDARD IN ENGINEERING

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 Sandy, UT 84070
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 Phone: 435.943.3590

CEDAR CITY
 Phone: 435.965.1453

RICHFIELD
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ROSE GATE AT CEDAR HILLS SENIOR LIVING FACILITY
 4600 WEST CEDAR HILLS DRIVE, CEDAR HILLS, UT 84202
 PROJECT MANAGER: ROBERT D. JOHNSON
 PROJECT ENGINEER: ROBERT D. JOHNSON
 PROJECT ARCHITECT: ROBERT D. JOHNSON
 PROJECT CIVIL ENGINEER: ROBERT D. JOHNSON

EROSION CONTROL PLAN

C-400

SALT LAKE CITY
451 W. 10000 S., Suite 500
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CEAR HILLS FARMLAND, LLC
519 SOUTH HENWOOD RD. STE. 150
MOUNTAIN VIEW, UT 84040
0004510048
PHONE: 801-265-5000

ROSEGATE AT CEDAR HILLS SENIOR LIVING FACILITY

4600 WEST CEDAR HILLS DRIVE
CEDAR HILLS, UTAH

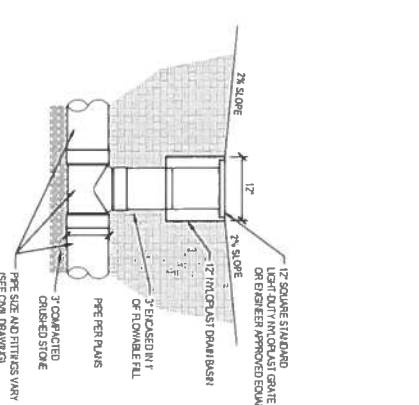


DATE: _____
REVISION: _____

PROJECT NUMBER: _____
DRAWN BY: J. JOHNSON
CHECKED BY: K. WHITE
PROJECT NUMBER: _____
DATE: _____

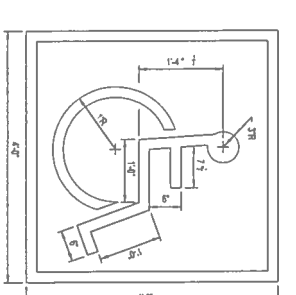
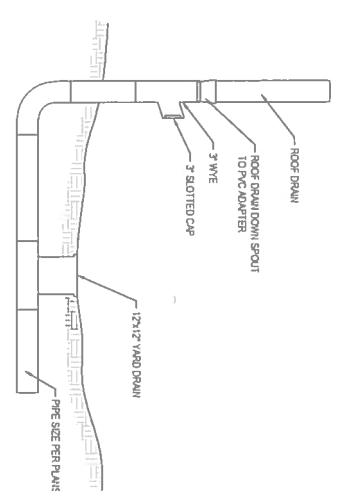
DETAIL SHEET

C-500

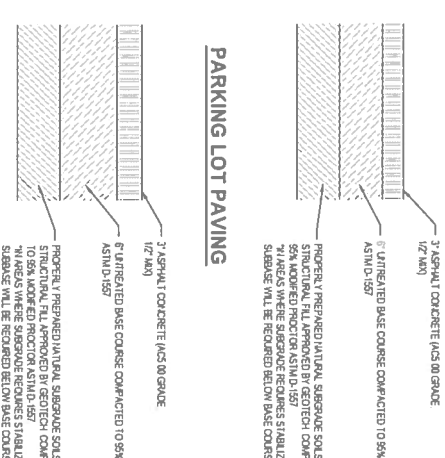


4 12" x 12" YARD DRAIN
Scale: NTS

3 ROOF DRAIN CONNECTION
Scale: NTS

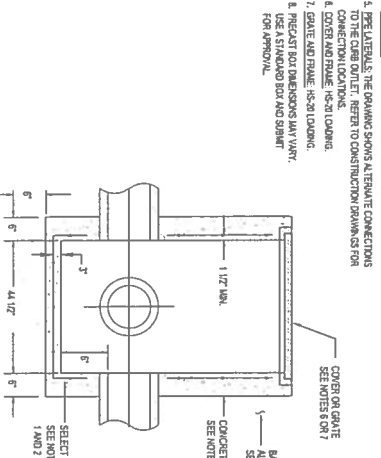


11 STALL PAVEMENT MARKING
Scale: NTS



8 TYPICAL PAVEMENT SECTIONS
Scale: NTS

2 STORM DRAIN CLEANOUT BOX
Scale: NTS



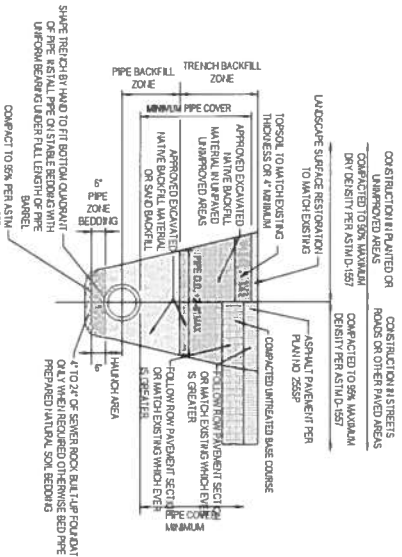
| CONDITIONS | PIPE MATERIAL | COVER |
|-----------------|-----------------|----------|
| AS G. CAP & PVC | AS G. CAP & PVC | CONCRETE |
| 4\"/> | | |

6 STORM DRAIN TRENCH NOTES
Scale: NTS

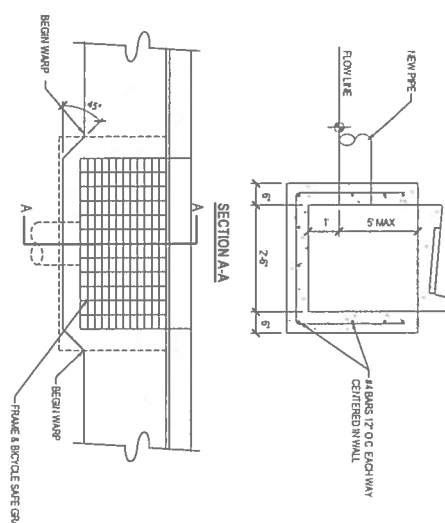
NOTES

1. BACKFILL SHALL BE MAXIMUM PARTICLE SIZE IN TRENCH BACKFILL TO 5/8\"/>

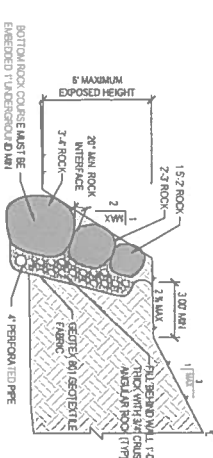
5 STORM DRAIN TRENCH DETAIL
Scale: NTS



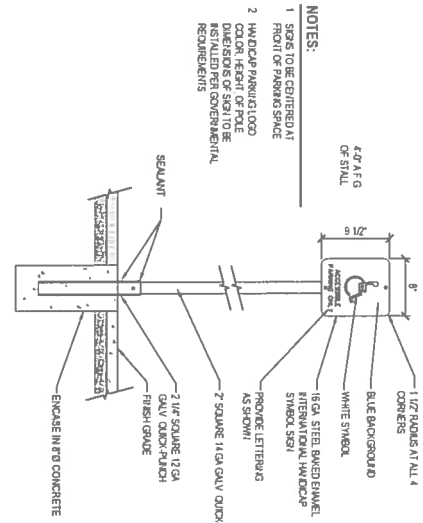
1 CURB INLET DETAIL
Scale: NTS



13 STACKED ROCK RETAINING WALL
Scale: NTS



12 ACCESSIBLE PARKING SIGN
Scale: NTS



ROOF WALL NOTES

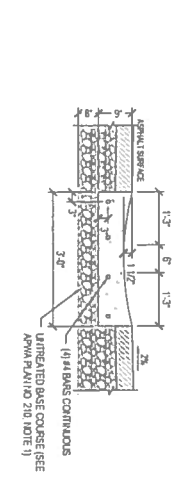
1. ROOF WALL SHALL BE CONSTRUCTED WITH THE ROOF WALL BEING RESPONSIBLE FOR THE WALL ON THE INSIDE ABOVE OR BELOW THE WALL ROOF CONSTRUCTION WILL REMOVE THE RESPONSIBILITY FROM THE DESIGN ENGINEER.
2. ALL WALL TO BE CONSTRUCTED TO 8\"/>

WATERWAY NOTES

1. ROOF A PLACE MATERIAL PER AWWA SECTION 5002 COMPACT PER AWWA SECTION 5001 TO A MINIMUM DEPTH OF 3\"/>

13 STACKED ROCK RETAINING WALL
Scale: NTS

14 3' WATERWAY DETAIL
Scale: NTS



13 STACKED ROCK RETAINING WALL
Scale: NTS

14 3' WATERWAY DETAIL
Scale: NTS

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FOR MORE INFORMATION CONTACT:
CEDAR HILLS CONSULTING, LLC
819 SOUTH BIRCHWOOD ROAD, STE. 159
MOUNTAIN VIEW, UT 84042
CONTRACTORS:
PROJECT MANAGER: R. ELDER
PHONE: 801-265-5800

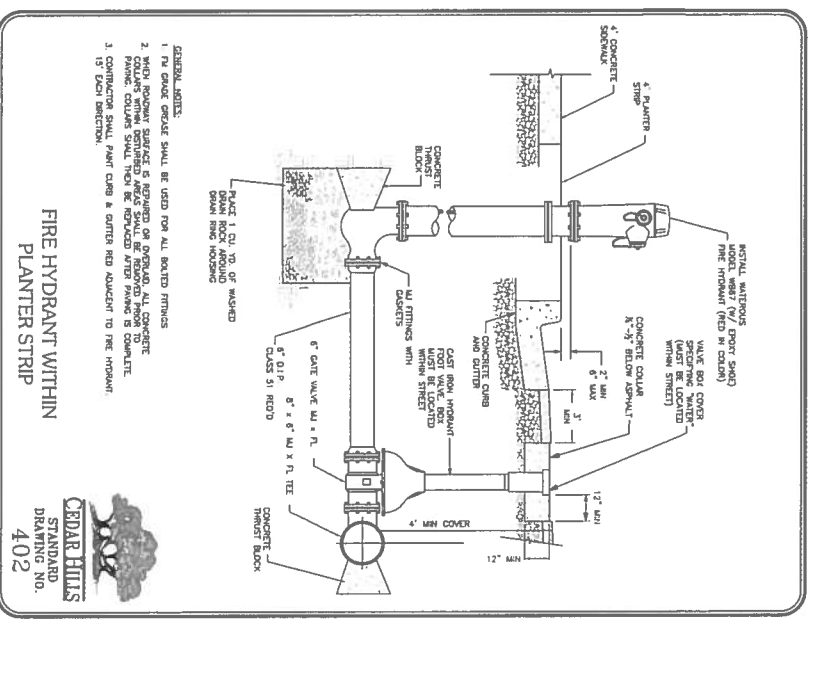
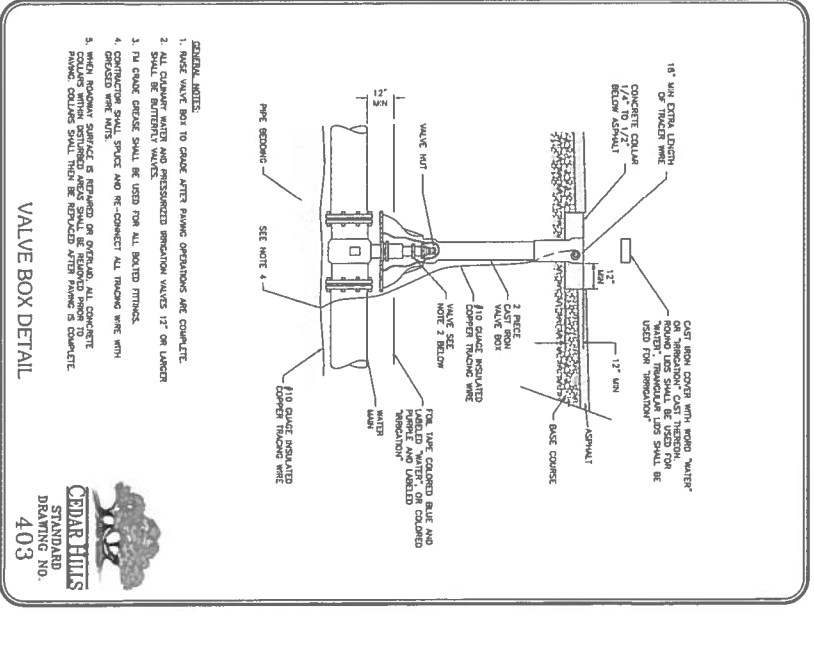
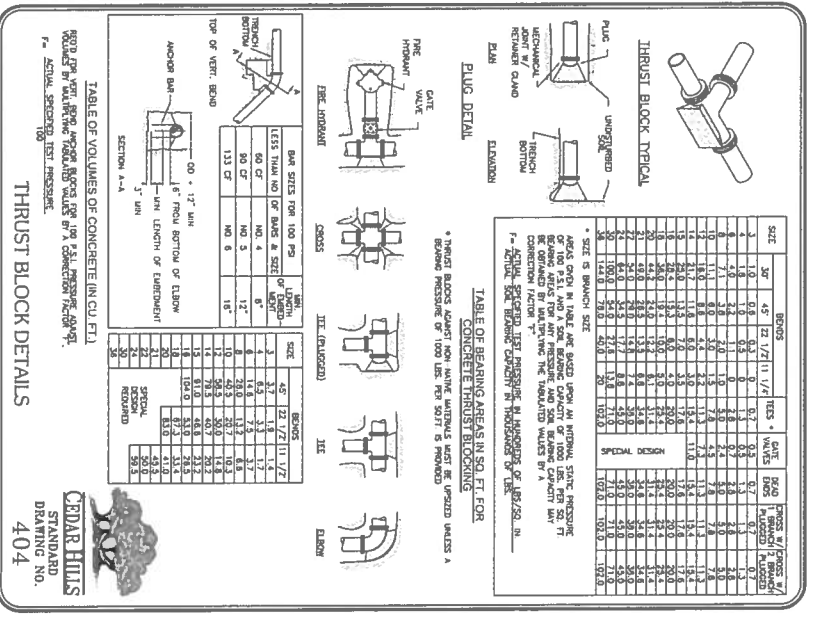
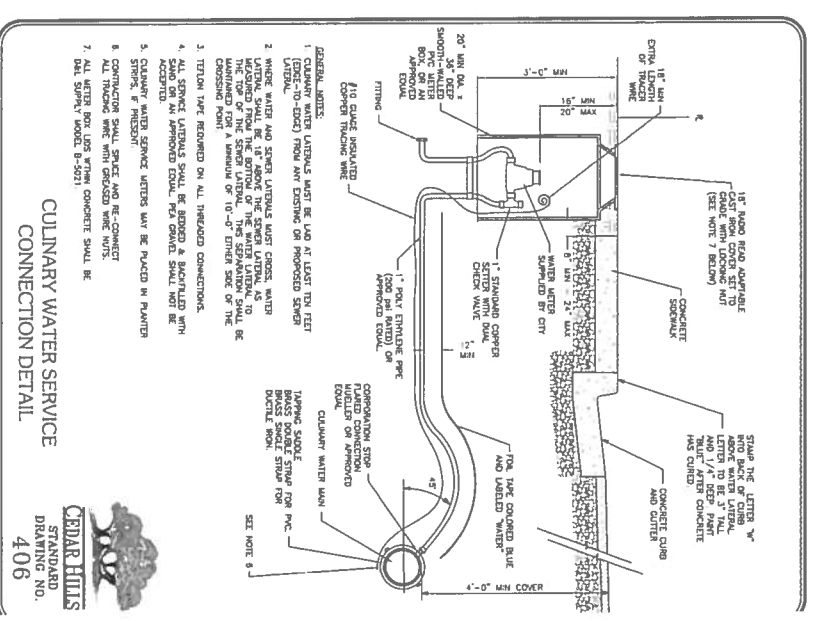
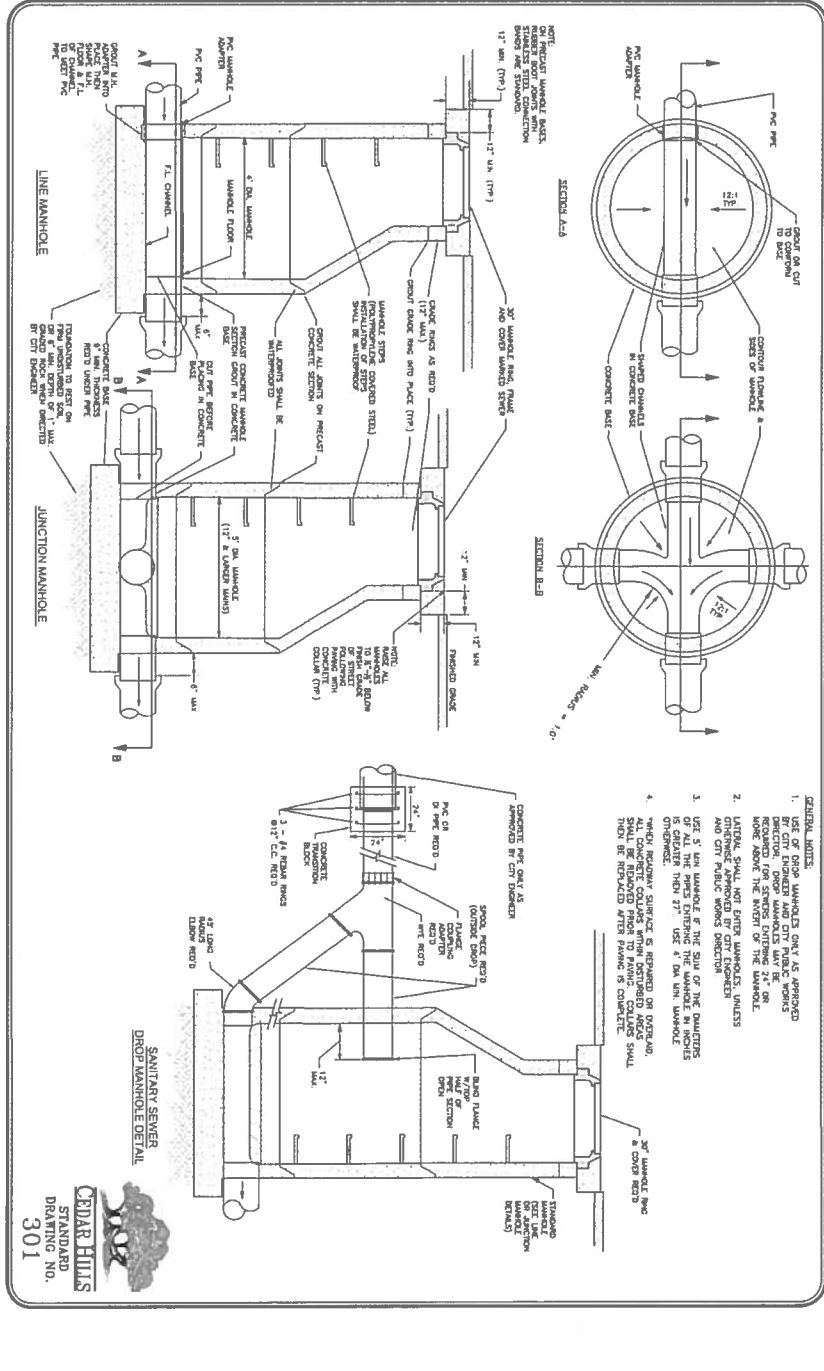
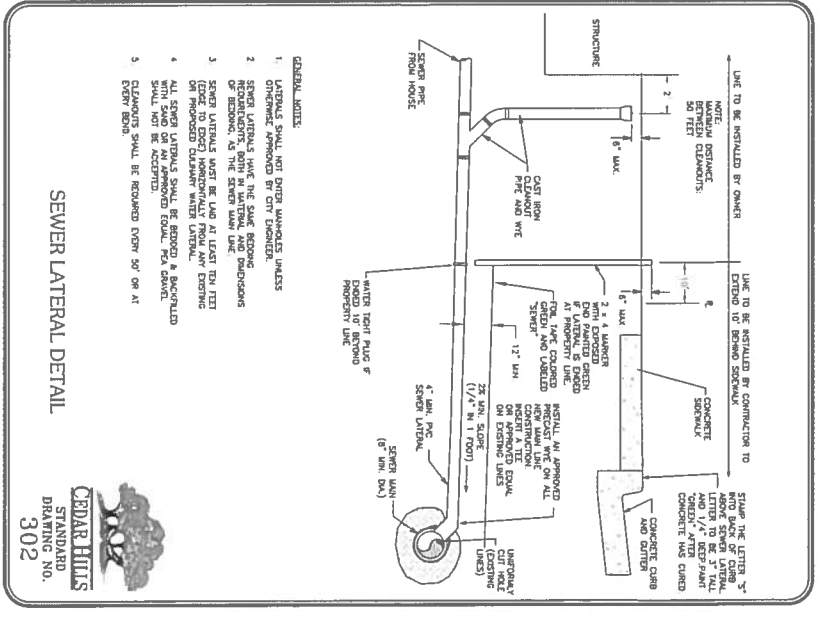
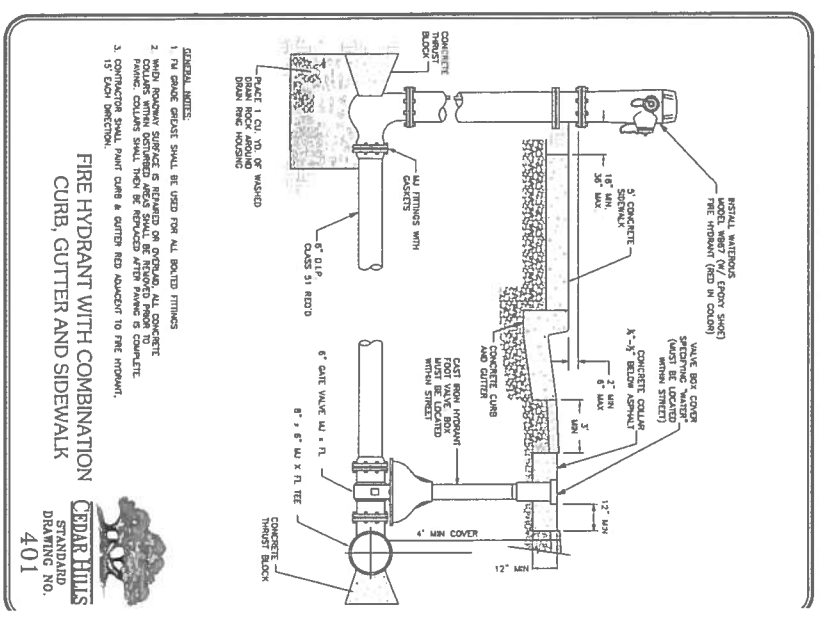
**ROSEGATE AT CEDAR HILLS
SENIOR LIVING FACILITY**
4600 WEST CEDAR HILLS DRIVE
CEDAR HILLS, UTAH



DETAIL SHEET

PROJECT NUMBER: 0515
DESIGNER: J. JOHNSON
PROJECT MANAGER: R. ELDER
DATE: 05-15-11

C-502

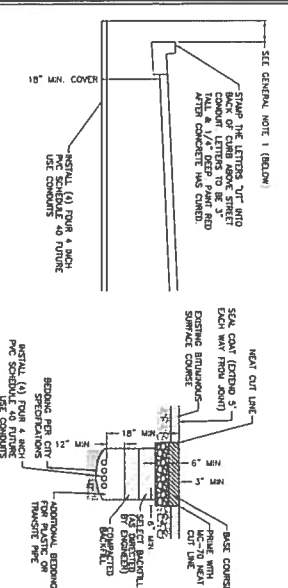


**ROSEGATE AT CEDAR HILLS
SENIOR LIVING FACILITY**
4600 WEST CEDAR HILLS DRIVE
CEDAR HILLS, UTAH



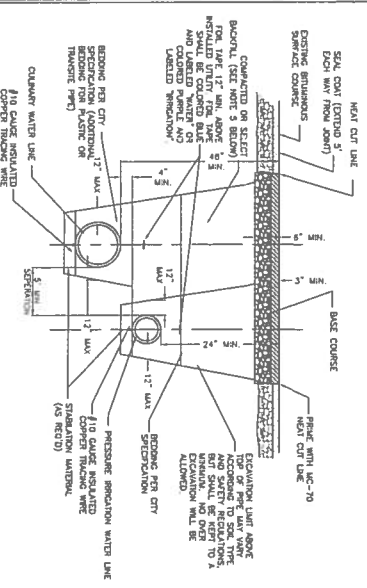
DETAIL SHEET

C-503



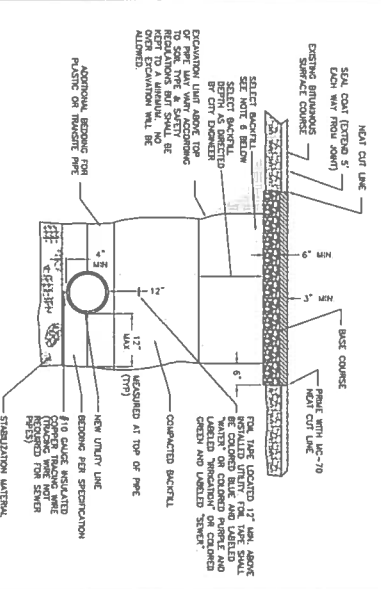
- GENERAL NOTES:**
1. PROVIDE A MINIMUM OF 2' GRADE TO THE CURB IF A PAVED STREET IS PRESENT OR 2' BENEATH THE EXISTING CURB OF A COMBINATION CURB, GUTTER, AND SIDEWALK.
 2. P1A GAVEL SHALL NOT BE ACCEPTED AS A BEDDING OR BACKFILL MATERIAL.

TYPICAL FUTURE-USE STREET CONDUIT



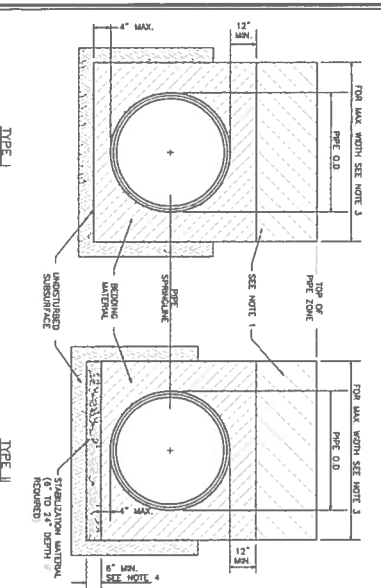
- GENERAL NOTES:**
1. PIPE SHALL BE "BUILT" FOR CULINARY WATER, AND "PAPER" FOR PRESSURIZED WASTE.
 2. NO PRESSURIZED UTILITIES INSTALLED PARALLEL TO UNBARRICADED UTILITY TRENCHES SHALL BE DEEPER THAN 5' (SIDE TO SIDE) TO SIDE UTILITY TRENCHES.
 3. ALL CULINARY WATER/PRESSURIZED WASTE CROSS-CONNECTIONS SHALL BE ALLOWED.
 4. ALL PRESSURIZED WASTE TRENCHES SHALL BE 1/4" TO 3/8" IN ORDER TO DRAW P1 LINES WHEN NOT IN USE.
 5. IN THE EVENT THE LIVING EXCAVATED MATERIAL IS NOT SUFFICIENT FOR THE CONSTRUCTION OF THE TRENCH, THE CONTRACTOR SHALL PROVIDE AN UNBARRICADED CULINARY WATER TRENCH WITH A MINIMUM OF 18" DEPTH AND 18" WIDTH. THE CONTRACTOR SHALL PROVIDE AN UNBARRICADED PRESSURIZED WASTE TRENCH WITH A MINIMUM OF 18" DEPTH AND 18" WIDTH.
 6. P1A GAVEL SHALL NOT BE ACCEPTED AS A BEDDING OR BACKFILL MATERIAL.
 7. ALL CONCRETE CURBS WHEN OBTAINED SHALL BE REPAIRED AFTER FINISH IS COMPLETE TO FINISH CURBS SHALL THEN BE REPAIRED AFTER FINISH IS COMPLETE.

TYPICAL DUAL PIPE INSTALLATION (IPR & CU.)



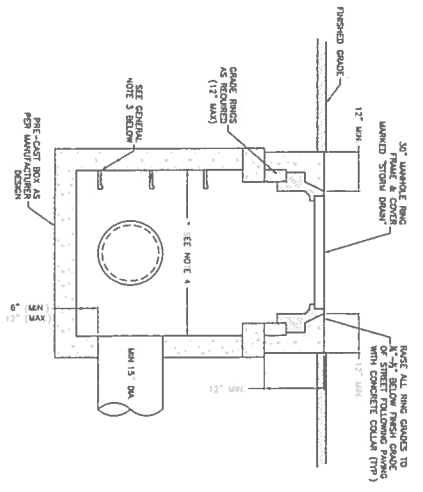
- GENERAL NOTES:**
1. FOR PARALLEL PIPES (CULINARY AND WASTE) THE DISTANCES UNLESS OTHERWISE NOTED SHALL BE 5'-0" HORIZONTAL, AND 4" VERTICAL (DIMENSION LINE ON TOP) BETWEEN PIPES.
 2. PIPE SHALL BE "BUILT" FOR CULINARY WATER, "PAPER" FOR PRESSURIZED WASTE, AND "BUILT" FOR CULINARY WATER.
 3. NO PRESSURIZED UTILITIES INSTALLED PARALLEL TO UNBARRICADED UTILITY TRENCHES SHALL BE DEEPER THAN 5' (SIDE TO SIDE) TO SIDE UTILITY TRENCHES.
 4. ALL CULINARY WATER/PRESSURIZED WASTE CROSS-CONNECTIONS SHALL BE ALLOWED.
 5. ALL PRESSURIZED WASTE TRENCHES SHALL BE 1/4" TO 3/8" IN ORDER TO DRAW P1 LINES WHEN NOT IN USE.
 6. IN THE EVENT THE LIVING EXCAVATED MATERIAL IS NOT SUFFICIENT FOR THE CONSTRUCTION OF THE TRENCH, THE CONTRACTOR SHALL PROVIDE AN UNBARRICADED CULINARY WATER TRENCH WITH A MINIMUM OF 18" DEPTH AND 18" WIDTH. THE CONTRACTOR SHALL PROVIDE AN UNBARRICADED PRESSURIZED WASTE TRENCH WITH A MINIMUM OF 18" DEPTH AND 18" WIDTH.
 7. P1A GAVEL SHALL NOT BE ACCEPTED AS A BEDDING OR BACKFILL MATERIAL.
 8. ALL CONCRETE CURBS WHEN OBTAINED SHALL BE REPAIRED AFTER FINISH IS COMPLETE TO FINISH CURBS SHALL THEN BE REPAIRED AFTER FINISH IS COMPLETE.

UTILITY INSTALLATION AND ROAD REPAIR



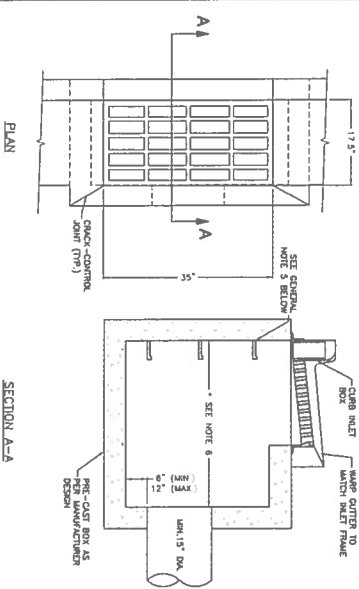
- GENERAL NOTES:**
1. P1A GAVEL IN PIPE TRENCH AT ORIGINAL WORKING IN HORIZONTAL OR VERTICAL 12" DEEP UNDER LAYERS COMPACT TO A B3A STANDARD PROCTOR PER PROCTUR (DATA D-888).
 2. 0.2" VIBRATING DENSITY OF PIPE BEDDING.
 3. 1.5% MOISTURE CONTENT PERCENTAGE OF PIPE BEDDING.
- PIPE O.D.**
12" + 24"
18" + 24"
24" + 24"
30" + 24"
36" + 24"
42" + 24"
48" + 24"
54" + 24"
60" + 24"
66" + 24"
72" + 24"
78" + 24"
84" + 24"
90" + 24"
96" + 24"
102" + 24"
108" + 24"
114" + 24"
120" + 24"
126" + 24"
132" + 24"
138" + 24"
144" + 24"
150" + 24"
156" + 24"
162" + 24"
168" + 24"
174" + 24"
180" + 24"
186" + 24"
192" + 24"
198" + 24"
204" + 24"
210" + 24"
216" + 24"
222" + 24"
228" + 24"
234" + 24"
240" + 24"
246" + 24"
252" + 24"
258" + 24"
264" + 24"
270" + 24"
276" + 24"
282" + 24"
288" + 24"
294" + 24"
300" + 24"
4. FOR EXISTING UTILITIES USE EXISTING MATERIAL COMPACTED BY THE CITY ENGINEER.
 5. REMOVE MATERIAL AND UNBARRICADED MATERIAL SHALL COMPARE TO CITY ENGINEER'S SPECIFICATIONS FOR ALL MATERIALS AND APPROVED BY THE CITY ENGINEER.
 6. P1A GAVEL SHALL NOT BE ACCEPTED AS A BEDDING OR BACKFILL MATERIAL.

PIPE BEDDING



- GENERAL NOTES:**
1. ALL FRAMES & GAVELS TO BE GALVANIZED STEEL ON CAST IRON.
 2. CONCRETE BOX (WALL THICKNESS) TO MATCH EXISTING OR NEW TYPE OF CURB AS SHOWN.
 3. CURB FACE PRECAST BOX CAN BE FINISHED AS APPROVED BY CITY.
 4. ALL GAVELS TO BE BENTONITE SAFE.
 5. STEPS ARE REQUIRED IN ALL STORM DRAIN COLLECTION BOXES EXCEPT THOSE SHOWN.
 6. 2' MIN. (2' MIN. IF DEPTER THAN 3').

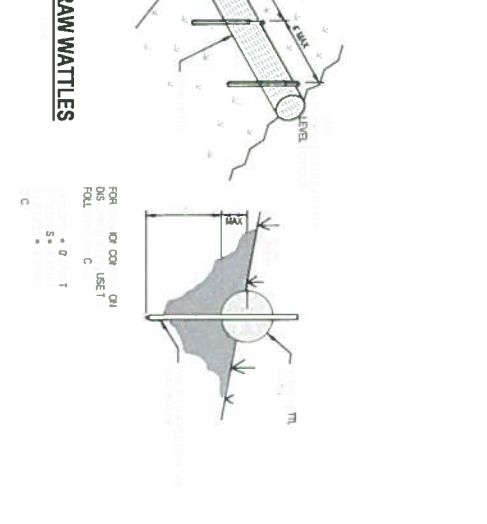
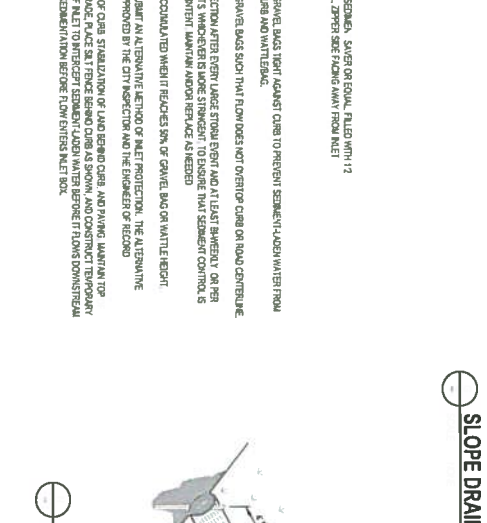
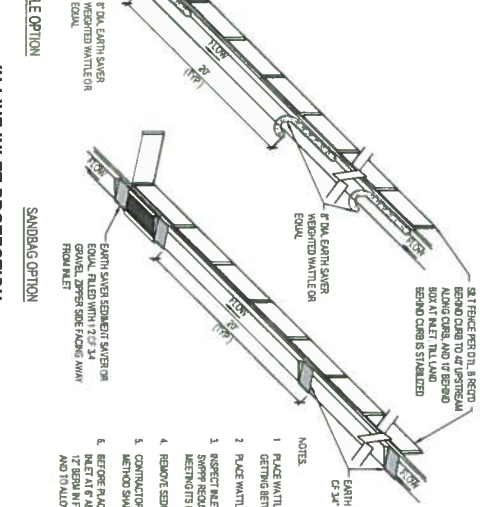
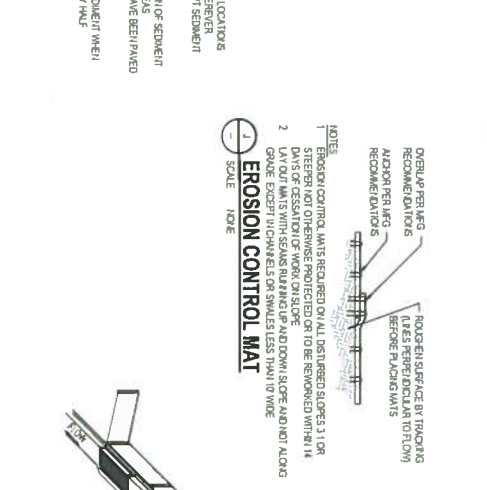
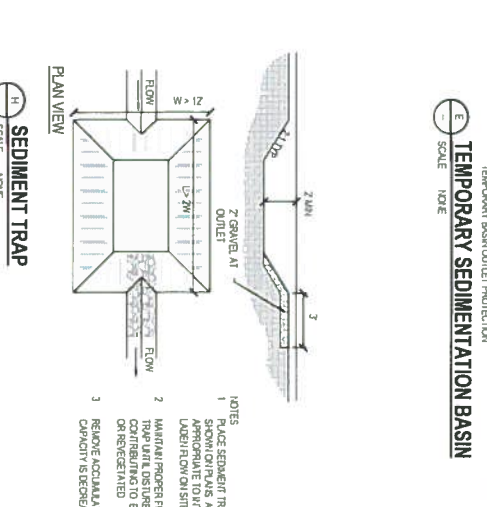
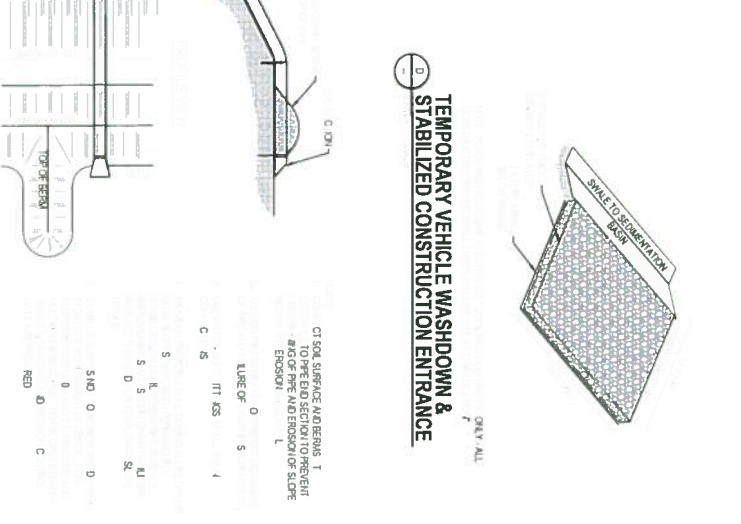
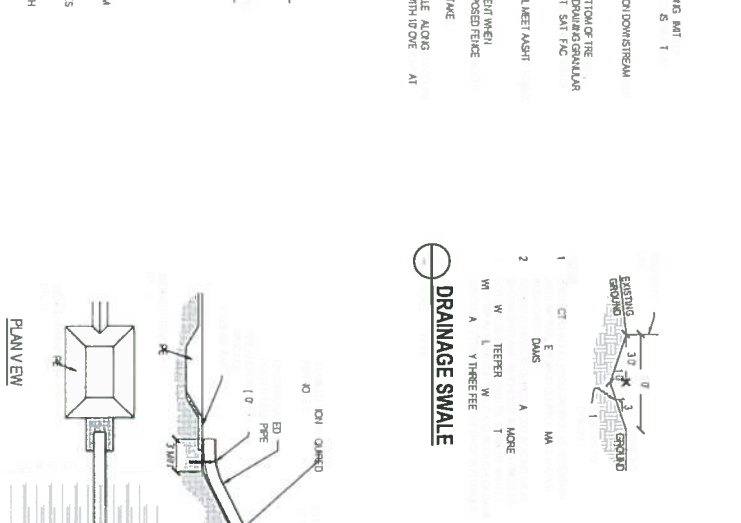
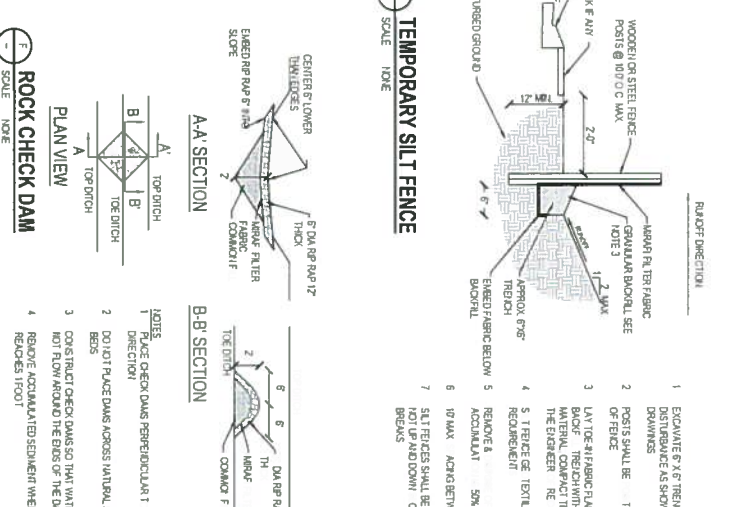
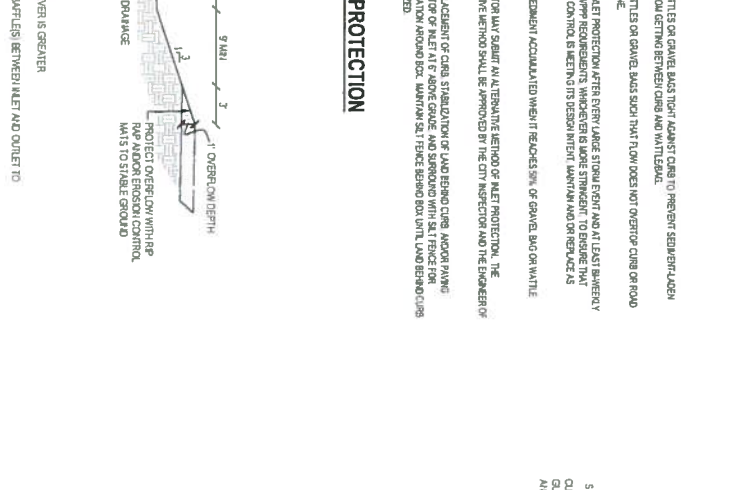
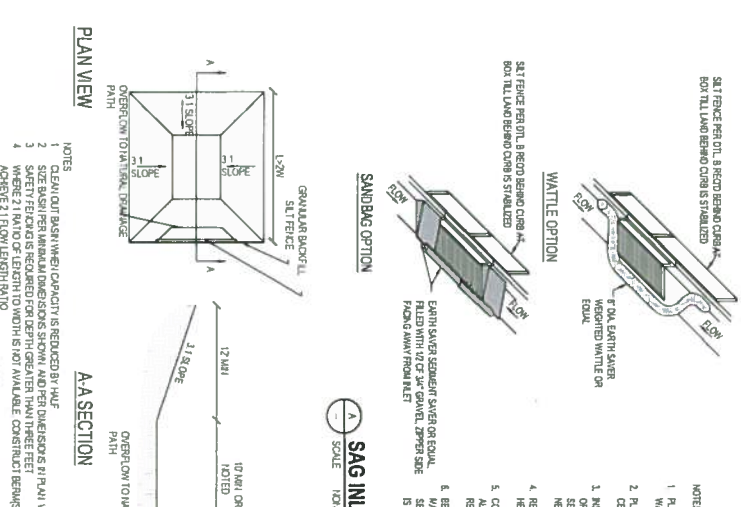
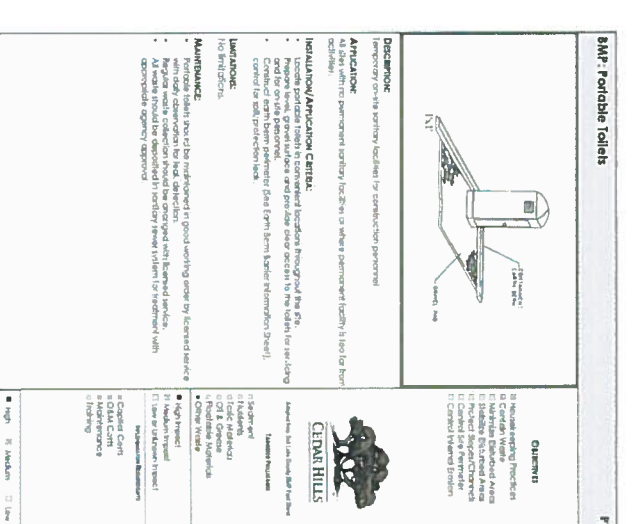
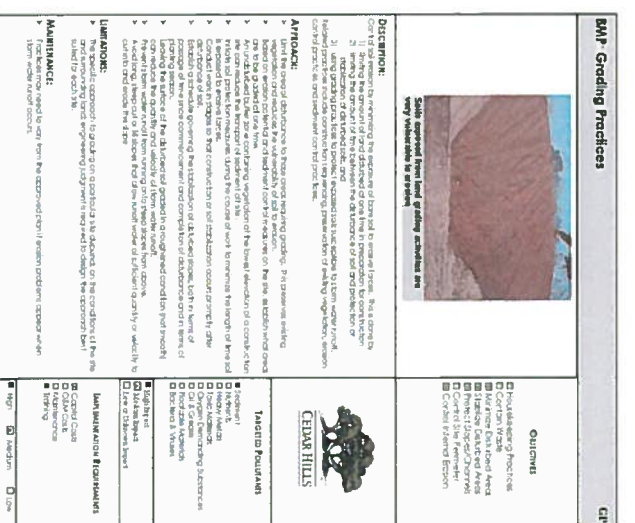
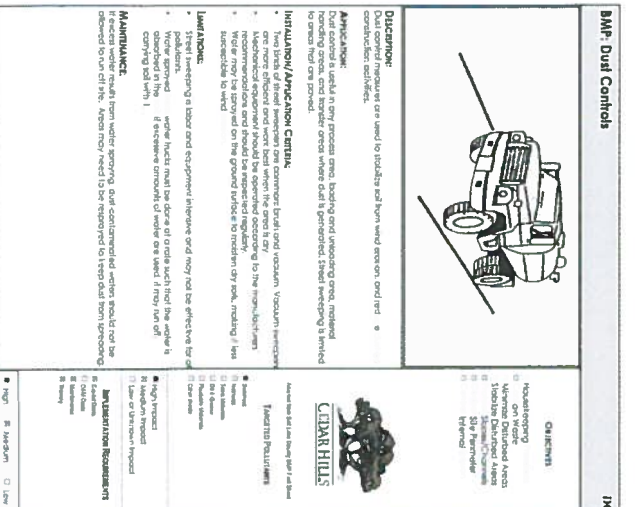
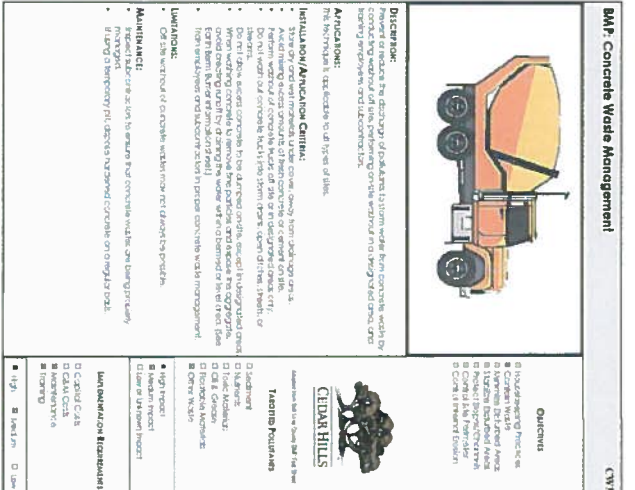
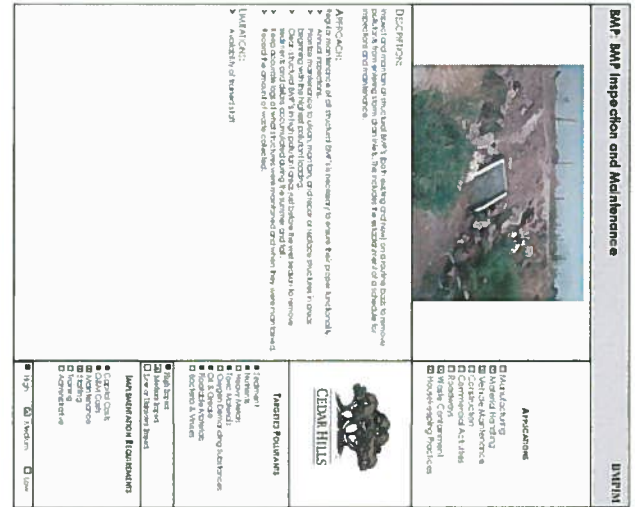
STORM DRAIN COLLECTION BOX



- GENERAL NOTES:**
1. ALL FRAMES & GAVELS TO BE GALVANIZED STEEL ON CAST IRON.
 2. CONCRETE BOX (WALL THICKNESS) TO MATCH EXISTING OR NEW TYPE OF CURB AS SHOWN.
 3. CURB FACE PRECAST BOX CAN BE FINISHED AS APPROVED BY CITY.
 4. ALL GAVELS TO BE BENTONITE SAFE.
 5. STEPS ARE REQUIRED IN ALL STORM DRAIN COLLECTION BOXES EXCEPT THOSE SHOWN.
 6. 2' MIN. (2' MIN. IF DEPTER THAN 3').

STORM DRAIN CATCH BASIN





EN SIGN
THE STANDARD IN ENGINEERING

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Phone: 801.255.0529

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901
183 SOUTH HENRIKSON RD, STE. 109
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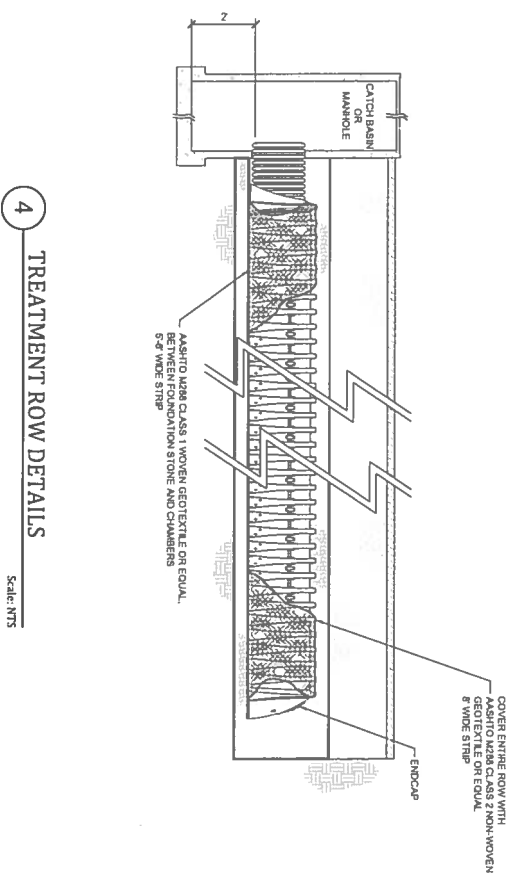
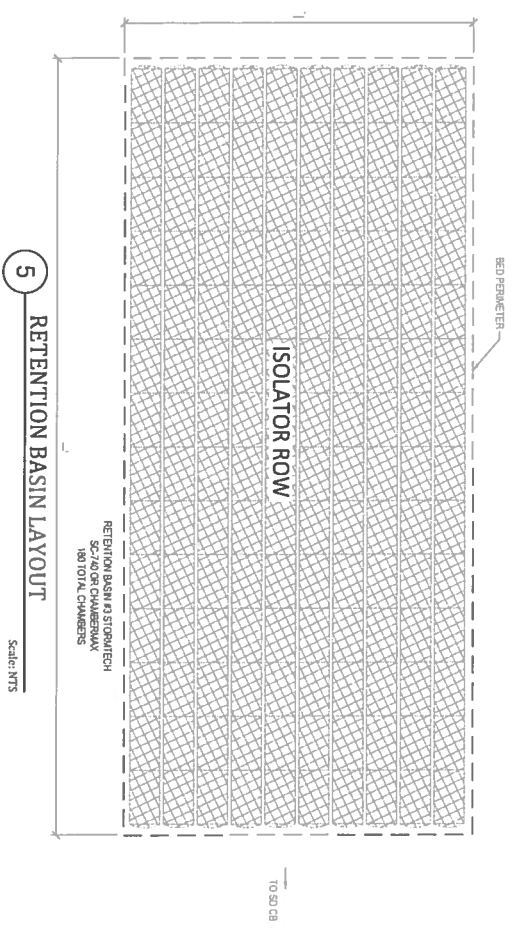
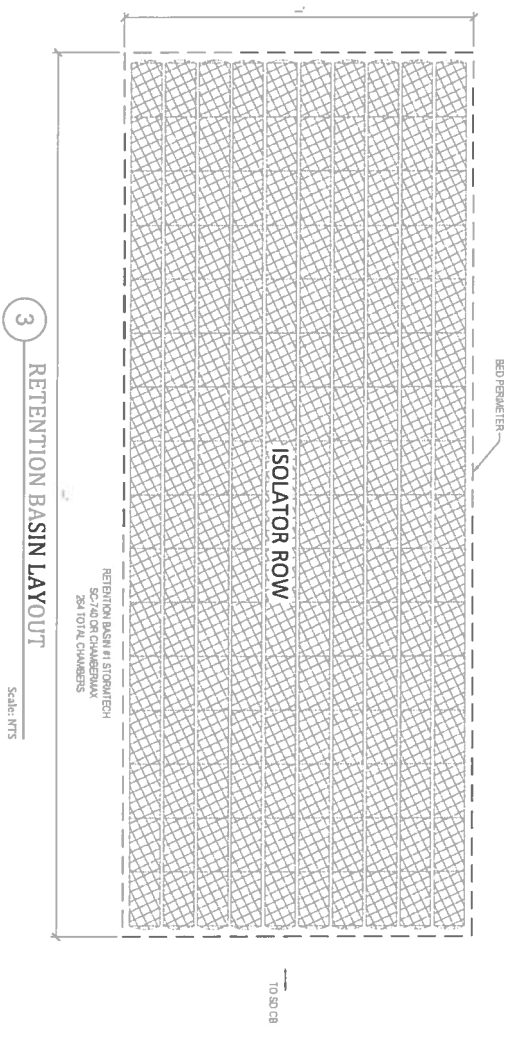
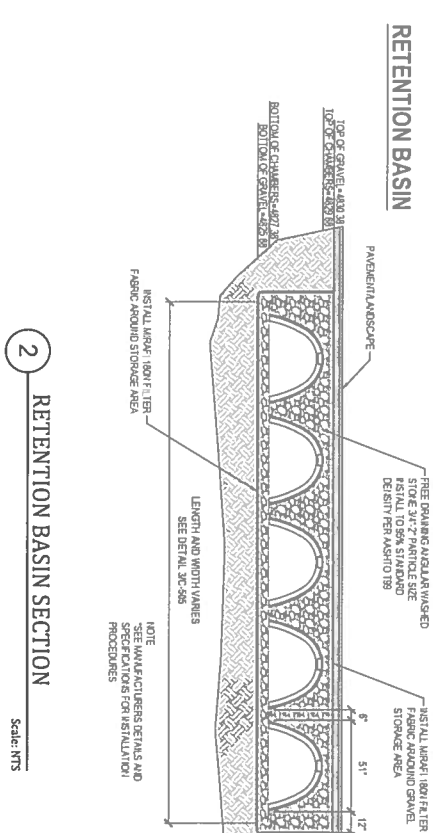
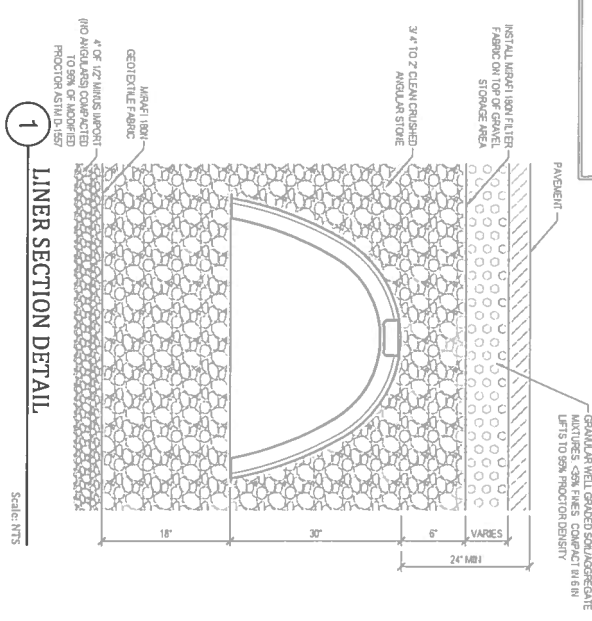
ROSEGATE AT CEDAR HILLS SENIOR LIVING FACILITY
4600 WEST CEDAR HILLS DRIVE
CEDAR HILLS, UTAH

PROJECT MANAGER: ROBERT Q. ROBERTSON
DESIGNED BY: J. JOHNSON
CHECKED BY: K. WARE
FILED BY: R. KLEIN

C-504

UTAH STATE ENGINEERING BOARD
REGISTERED PROFESSIONAL ENGINEER
ROBERT Q. ROBERTSON
No. 188578
STATE OF UTAH

PROJECT NO. C-504
DATE: 02/15/2025
DRAWN BY: J. JOHNSON
CHECKED BY: K. WARE
FILED BY: R. KLEIN



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FOR
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TAYLORVILLE, IOWA 50424
CONTACT
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PHONE

**ROSEGATE AT CEDAR HILLS
SENIOR LIVING FACILITY**
4600 WEST CEDAR HILLS DRIVE
CEDAR HILLS, UTAH



NO. 547
REVISED
DATE

DETAIL SHEET

PROJECT NUMBER: 801
DATE: 03/15
DRAWN BY: R. ELDER
CHECKED BY: K. WHITE

C-505